SUNY DOWNSTATE MEDICAL CENTER

450 CLARKSON AVENUE BROOKLYN, NEW YORK 11203

UPGRADING EXISTING MRI PHASE "1" TEMPORARY MRI (MOBILE)

CONSULTANT:

ARCHITECT:

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ARCHITECTURAL:

A-000.00 COVER SHEET

A-001.00 LOCATION PLAN, GENERAL NOTES & ABBREVIATIONS

A-100.00 DEMOLITION AND CONSTRUCTION PLAN

A-200.00 ELEVATION AND SECTION & GENERAL DETAILS

A-300.00 TRAILER REMOVAL AND RESTORATION PLAN

MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION:

JFK&M ENGINEERS, LLP.

142 WEST, 36TH STREET, 3RD FLOOR NEW YORK, NEW YORK 10018

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ELECTRICAL:

TES & ABBREVIATIONS
NS, SHEET NO. 1
NS, SHEET NO. 2
OWER & SYSTEMS PLAN
POWER & SYSTEMS PLAN
SYSTEMS PLAN
R & SYSTEMS PLAN
GRAM & DETAILS

OWNER



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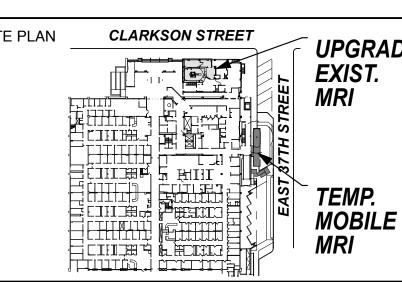
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MARKS:	DATE:
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PROJECT TITLE

PHASE "1": TEMPORARY MOBILE MRI

DRAWING TITLE

COVER SHEET

SEAL & SIGNATURE:	DATE:	MARCH 17, 2010	
	JBA PROJECT NO). 1367a	
	DRAWN:		
	SCALE:	AS NOTED	
	DRAWING NO.		
	A-000.00		
	CAD FILE NO.	SHEET NO.	

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GENERAL NOTES:

1: ALL WORK SHALL BE PERFORMED MONDAY THRU FRIDAY 8 AM TO 4:30 PM DURING THE NORMAL ADMINSTRATIVE PORTION OF THE DAY.

2: PRIME TIME OR OTHER TIME REQUIRED TO COMPLETE THIS PROJECT AS DIRECTED BY THE OWNER SHALL BE AT NO ADDITIONAL EXPENSE TO THE HOSPITAL.

3: CONTRACTOR SHALL COMPLY WITH THE LATEST OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) LAWS, REGULATIONS AT ALL TIMES WITHOUT ANY DIRECTION FROM OWNER / SUNY DOWNSTATE HOSPITAL.

4: CONTRACTOR SHALL VERIFY IN THE FIELD ALL EXISTING CONDITIONS INCLUDING BUT NOT LIMITED TO, MEASUREMENTS, CONFLICTS, EXISTING UTILITIES, DIMENSIONS, QUANTITIES AND WHATEVER ELSE IS NECESSARY TO COMPLETE THE PROJECT. VERIFY LOCATION, DEPTHS, DIRECTION, SIZE, OR ANY EXISTING UTILITY, WHETHER SHOWN ON THE DRAWINGS OR NOT.

5: IT IS RECOMMENDED THAT THE CONTRACTOR PERFORM A DOCUMENTED SITE VISIT PRIOR TO BID.

6: CONTRACTOR SHALL SUBMIT TO THE OWNER ALL CONSTRUCTION MATERIALS, PRODUCTS AND EQUIPMENT. SUBMIT MATERIAL SAFETY DATA SHEETS FOR ALL PRODUCTS AND MATERIAL.

7: CONTRACTOR SHALL REPAIR TO THE SATISFACTION OF THE SUNY'S PROJECT MANAGER ANY UTILITY DISRUPTED, DAMAGED, BROKEN OR OTHERWISE HARMED IN ANY FASHION THRU THIS CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.

8: CONTRACTOR SHALL REPORT TO THE SUNY'S PROJECT MANAGER ANY NON-FUNCTIONING EXISTING UTILITY.

9: CONTRACTOR SHALL SUPPORT ANY EXISTING UTILITY AS REQUIRED BY CONSTRUCTION.

10: CONTRACTOR SHALL CLEAN THE WORK SPACE AT THE END OF EACH WORKING DAY, SECURE THE CONSTRUCTION AREA. ALL DEBRIS SHALL BE SWEPT UP, REMOVED AND DISPOSED OF BY THE CONTRACTOR IN CONTRACTOR SUPPLIED DUMPSTER.

11: CONTRACTOR SHALL PROVIDE HIS OWN STORAGE SPACE. STORAGE OF CONTRACTORS' MATERIALS SHALL BE PROHIBITED INSIDE THE WORK AREA. CONTRACTOR SHALL PROVIDE OWN SECURITY FOR STORAGE TRAILER.

12: CONTRACTOR SHALL SOLEY BE RESPONSIBLE FOR THE SAFETY OF THE WORKSITE AND TAKE IMMEDIATE ACTION, WITHOUT DIRECTION FROM GOVERNMENT EMPLOYEES' OR THE OWNER TO ELIMINATE SAFETY HAZARD(S) THAT POSE A THREAT(S) OR POTENTIAL THREAT(S) TO PATIENTS, EMPLOYEES, VISITORS AND CONTRACTORS'

13: THERE SHALL BE NO CLAIMS AGAINST THE SUNY DOWNSTATE OR REPRESENTATIVES OF SUNY DOWNSTATE FOR WORK STOPPAGES DUE TO ACTS OF GOD, WEATHER CONDITIONS, STOP WORK ORDERS (VERBAL OR WRITTEN OR BOTH), UNDERESTIMATION OF WORK, ESTIMATED QUANTITIES, MATERIALS SUPPLIES, SUPERVISION, TOOLS, LATE SUBMISSION, ANY RETURN OF SUBMISSION DELAY, CORRECTION OF SAFETY PROBLEMS, OR ANY OTHER REASON.

14: SUBMIT PRIOR TO FINAL PAYMENT AN "AS CONSTRUCTED DRAWING" DETAILING ALL NEW CONSTRUCTION AND SUBMIT TO THE SUNY'S PROJECT MANAGER. TO BE PROFESSIONALLY DRAWN USING STANDARD ENGINEERING PRACTICES.

15: CONTRACTOR SHALL TAKE AND MAINTAIN ALL MEASUREMENTS DURING THE COURSE OF THE PROJECT. ALL MEASUREMENTS SHALL BE NOTED ON THE "AS BUILT".

16: USE OF VIBRATORY IMPACT TOOLS ARE PROHIBITED IN ALL INTERIOR WORK. ANY PENETRATIONS THRU CONCRETE AND MASONRY SHALL BE CORE DRILLED WITH DIAMOND BIT ONLY. ALL PENETRATIONS SHALL BE SLEEVED AND FIREPROOFED.

17: ANY AND ALL RIGGING SHALL BE SOLELY AT THE EXPENSE OF THE CONTRACTOR OR COORDINATE ALL RIGGING WITH THE SUNY. PROVIDE ALL BARRICADES, BARRELS, TEMPORARY FENCING AND SIGNAGE AS REQUIRED BY THE SUNY'S PROJECT MANAGER TO SECURE RIGGING AREA FROM PATIENTS EMPLOYEES AND STAFF.

18: PARKING SHALL BE IN LEGAL PARKING SPACES ONLY. NO PARKING IN PATIENT LOTS, LOADING AREAS (EXCEPT FOR IMMEDIATE LOADING/UNLOADING MATERIALS AND OR SUPPLIES), OR OTHER DESIGNATED NON-PARKING AREAS.

19: SMOKING IS PROHIBITED IN ALL BUILDINGS AND WITHIN 50 FOOT OF EVERY EXTERIOR DOOR.

20: PRIOR TO THE PENETRATION OF ANY WALL, CONTRACTOR SHALL OBTAIN A "SMOKE BARRIER PENETRATION PERMIT" FROM THE SUNY'S FIRE DEPARTMENT. AT THE COMPLETION OF WORK THE VENDOR SHALL SCHEDULE AN INSPECTION WITH THE CONTRACTOR AND FIRE DEPARTMENT TO INSPECT ANY AND ALL PENETRATIONS AND REPAIR ANY AND ALL PENETRATIONS TO THE SATISFACTION OF THE SUNY. COPY OF THE PERMIT FORMS WILL BE FOUND IN THE SECTION 01010 GENERAL REQUIREMENTS. IF THERE IS NO COPY A COPY SHALL BE PROVIDED AT THE PRE-CONSTRUCTION MEETING. - PRIOR TO THE START OF ANY WORK CONTRACTOR SHALL SUBMIT FOR APPROVAL SHOP DRAWING DETAILING ALL NEW PENETRATIONS.

21: CONTRACTOR SHALL PROVIDE AND INSTALL TEMPORARY CHAIN LINK FENCE, MINIMUM 6'-0" FEET IN HEIGHT AND LOCKING GATE, FOR DUMPSTERS AND ALL EXTERIOR CONSTRUCTION. FENCE POSTS SHALL BE A MINIMUM OF 2" DIAMETER, SCHEDULE 40 GALVANIZED STEEL, SPACED MAXIMUM OF 8 FEET ON CENTERS (OR CLOSER, AS REQUIRED BY THE LOCATION, TURNS, ENDS POSTS, ETC). POSTS SHALL EXTEND MINIMUM 24" INTO THE GROUND. WIRE FABRIC SHALL BE MAXIMUM OF 2 INCHES BY 2 INCHES, MINIMUM OF 9 GUAGE, TIE WIRE FABRIC TO POSTS USING A MINIMUM OF 3 WIRES PER POST.

IN LIEU OF THE ABOVE, SAFETY TYPE 6 FOOT HIGH RELOCATABLE TEMPORARY FENCING MAY BE SUBMITTED. SUBMIT TEMPORARY FENCE DETAIL FOR APPROVAL

22: CONTRACTOR SHALL BE PROHIBITED FROM USING HILTI OR OTHER TYPE EXPLOSIVE SHOTS INTO CONCRETE FOR ANCHORING OR SECURING PURPOSES.

23: CONTRACTOR SHALL PRIOR TO THE START OR WORK SUBMIT A FULL SET OF COORDINATED DRAWINGS FOR ALL TRADES. DRAWING SHALL BE COMPLETE. DRAWING TO SHOW ALL EXISTING UTILITIES, DETAIL ALL NEW WORK RESOLVING ALL UTILITY

24: CONTRACTOR SHALL SUBMIT 3 COPIES OF ALL PAYROLLS AND 3 COPIES OF DAILY

25: CONTRACTOR SHALL BE ADVISED THAT ANY CHANGES TO THE ORIGINAL SIGNED AND SEALED DOCUMENTS SHALL BE CONSIDERED ONLY WHEN ACCOMPANIED BY A REVISED DRAWING INDICATING THE PROPOSED CHANGE. THIS DOCUMENT SHALL BE SIGNED AND SEALED BY A LICENSED PROFESSIONAL ENGINEER RETAINED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE SUNY AND SHALL BE SUBMITTED TO THE CONTRACTING OFFICER, WITH SUPPORTING ENGINEERING CALCULATIONS, FOR REVIEW AND APPROVAL. THE ABOVE DOCUMENTS SHALL BE TRANSMITTED BY THE CONTRACTOR TO THE AE, ENGINEERING OFFICE AND BUSINESS SERVICE CENTER CONTRACTING OFFICE.

HAZARDOUS MATERIAL:

NEITHER THE OWNER OR THE ARCHITECT WARRANTIES OR GUARANTEES THE AREA OF WORK TO BE FREE OF HAZARDOUS, OR NUISANCE HAZARD MATERIAL.

HAZARDOUS MATERIALS ARE INCLUDED BUT NOT LIMITED TO ASBESTOS PIPE COVERING (INSULATION), VINYL, ASBESTOS TILE AND SOME LINOLEUM, LEAD BASED PAINT, AND LATEX DUST.

NUISANCE HAZARD MATERIAL INCLUDE BUT NOT LIMITED TO FIBERGLASS.

BEFORE COMMENCING, THE CONTRACTOR SHALL HAVE THE AREA INSPECTED BY AN AGENCY FAMILIAR WITH HAZARDOUS MATERIALS AND REPORT IN WRITING THE RESULTS OF INSPECTION TO THE OWNER. SHOULD HAZARDOUS MATERIALS BE ENCOUNTERED, THE CONTRACTOR SHALL STOP WORK, SEAL THE AREA, AND REPORT CONDITION TO THE OWNER AND THE ARCHITECT AND DO NO WORK UNTIL THE CONDITION IS CORRECTED.

ABBREVIATIONS:

ACOUSTICAL AIR CONDITIONING ACOUSTICAL CEILING TILE ABOVE FINISHED FLOOR ALUMINUM APPROXIMATE

BOARD BLOM-FIELD GUASS LINE TUMINOUS UILDING 3LOCK

BOTTOM BOTTOM OF BÜİLT-UP ROOFING

CB. CCT. CEM. CL. CLG. CLR. CON. CONC. CONT. C.T. C.W. CERAMIC BASE CUBICLE CURTAINS CEMENT CENTER LINE CEILING

CONCRETE MASONRY UNIT

COLUMN CONCRETE CONTINUOUS CERAMIC TILE CERAMIC WALL TILE COLD WATER

DETAIL DRINKING FOUNTAIN DUMMY GROOVE JOINT DIMETER DIMENSION DOOR DRAWING

ECTRICAL CONTRACTOR EXPANSION JOINT ELEVATION ELECTRICAL

EVATOR ECTRICAL WATER COOLER EX. EXIST. EXT.

FIRE EXTINGUISHER BRACKET FIRE EXTINGUISHER CABINET

FIRE-PROOF SLEF CLOSING FIBER REINFORCED CEMENT BOARD GALVANIZED GYPSUM WALL BOARD

HOLLOW METAL INSULATION NTERIOR

JÄNITOR CLOSET LONG LAVATORY I OCKERS

MASONRY OPENING MULTI-COLORED PAINT MECHANICAL, ELECT. & PLUMBING

NEW NATURAL NOT IN CONTRACT

PLAST. PLM. PLYWD. P.T.F.R.

POLYMER FLOORING PLYWOOD PRESSURE TREATED FIRE RETARDANT

RADIUS RADIO FREQUENCY RATED STANDARD GAUSS LINE

ŚĽÄTĒ BASE SLIDING STAINLESS STEEL ST., STL. SUSP. SVF.

SÜSPENDED SEAMLESS VINYL FLOORING

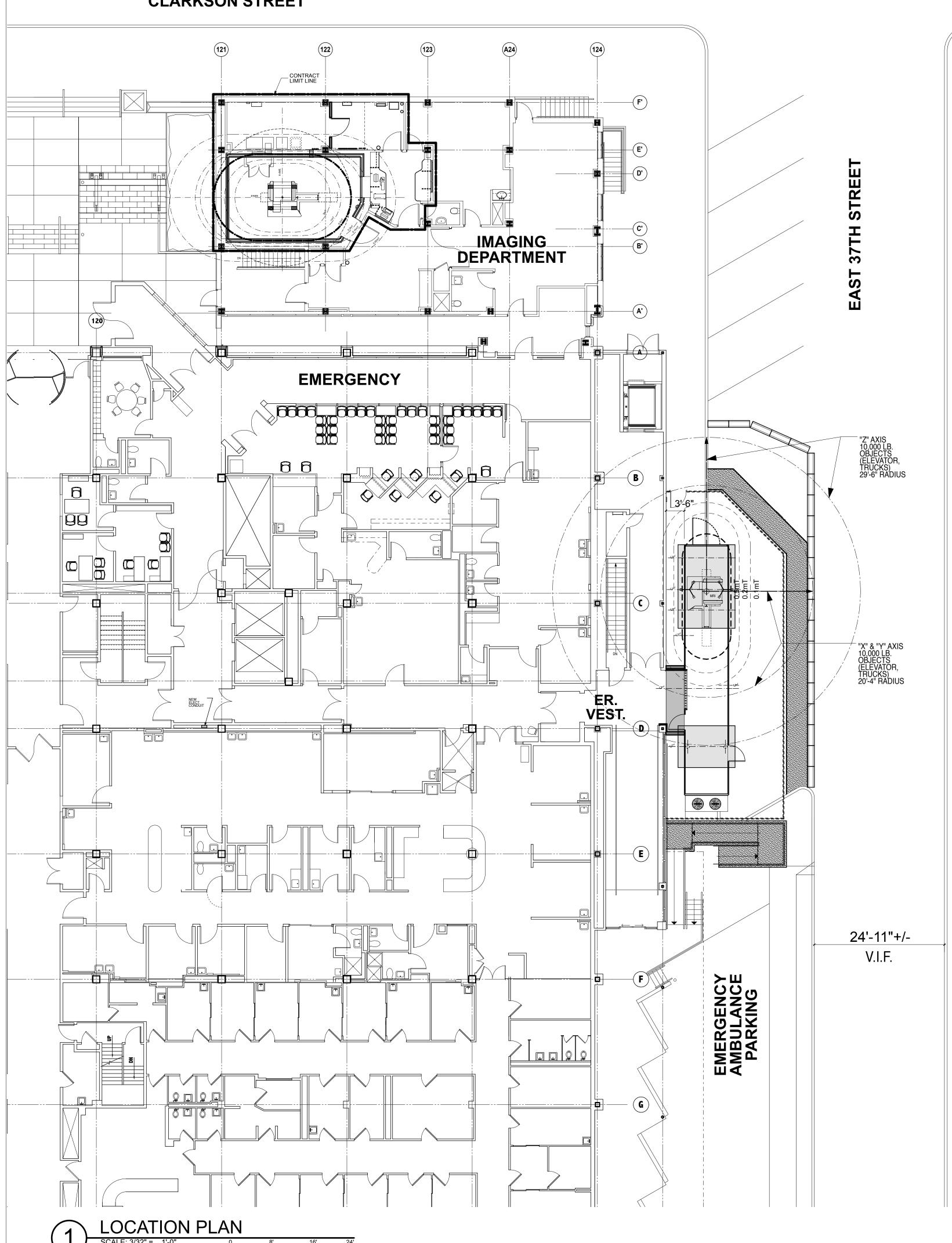
TOP OF TOP OF WALL TYPICAL T.O. T.O.W. TYP.

UNLESS OTHERWISE NOTED V.C.B. VINYL COVERING BASE V.C.T. VINYL COMPOSITION TILE VERT. **VERTICAL VERIFY IN FIELD**

V.I.F. VNR. **VENEER** V.W.C. VINYL WALL COVERING WIDE WITH

WATER COOLER WOOD Working Point WINDOW TREATMENT **WOVEN WIRE MESH**

CLARKSON STREET





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ARCHITECT

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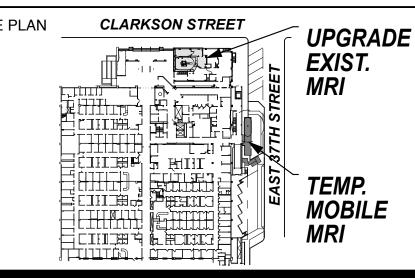
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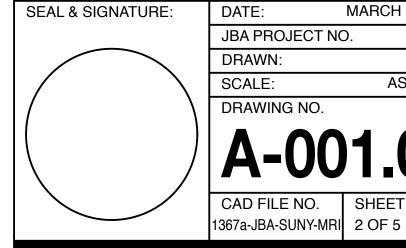
ISSUES:	
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PROJECT TITLE

PHASE "1": TEMPORARY MOBILE MRI

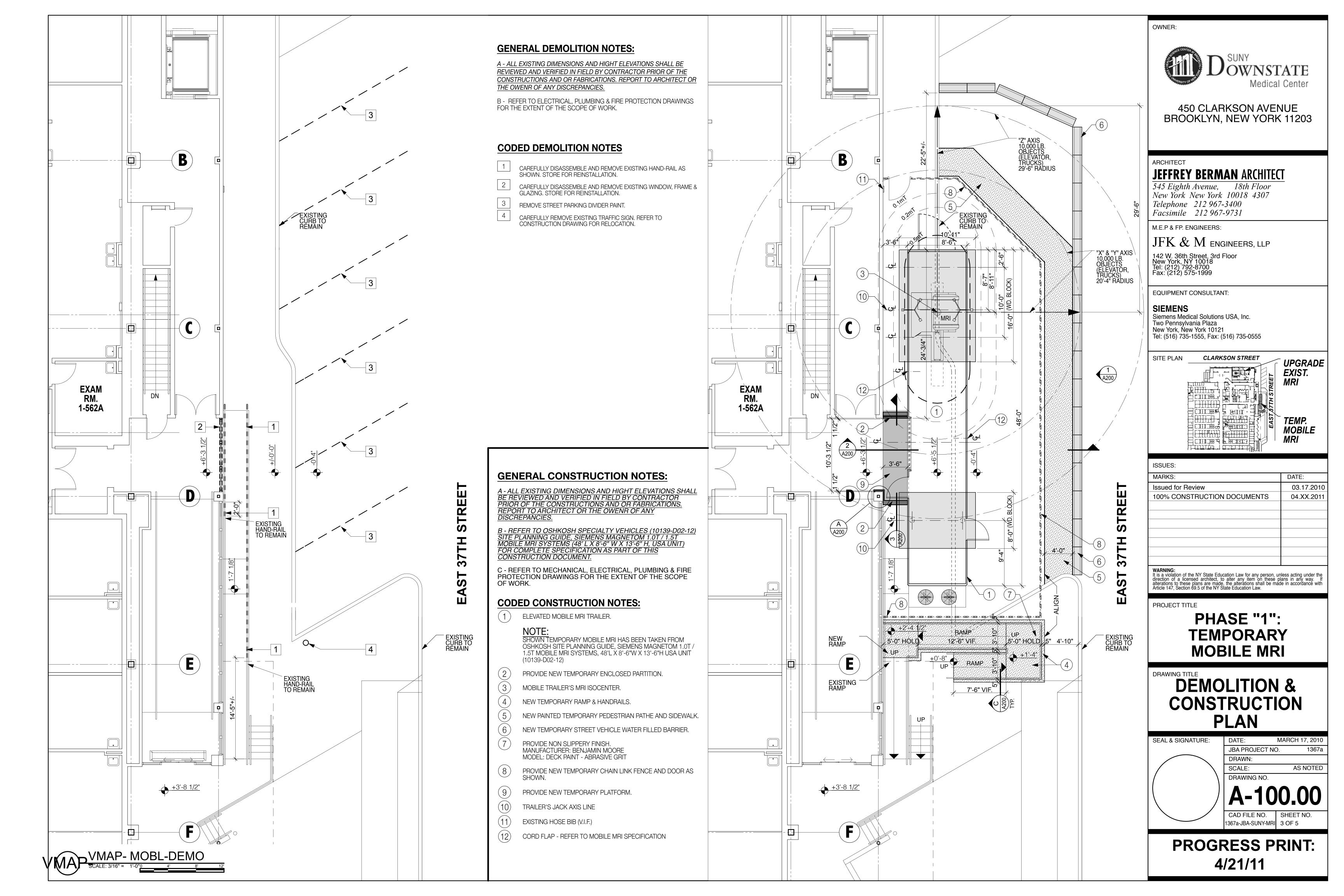
LOCATION PLAN, **GENERAL NOTES & ABBREVIATIONS**

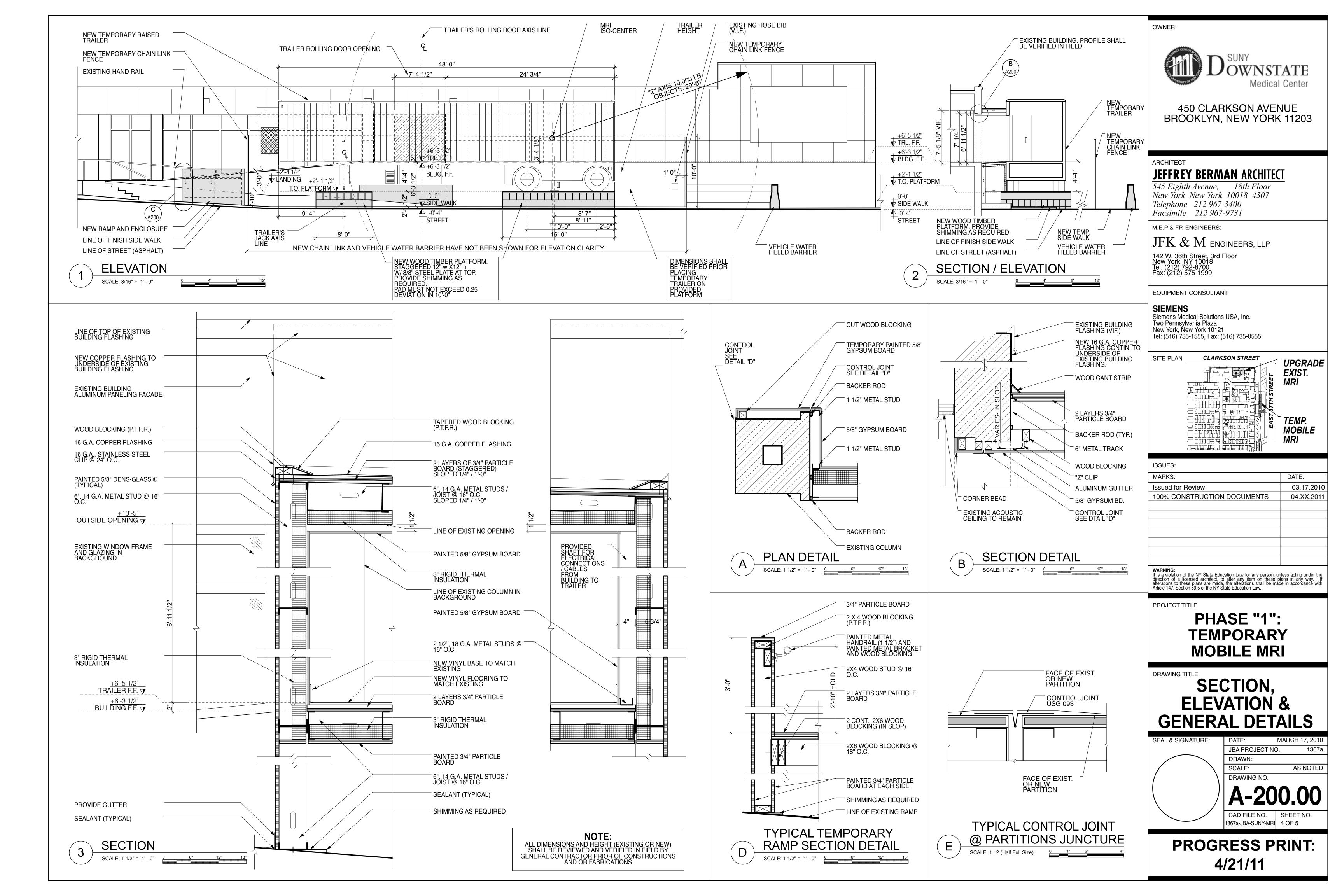


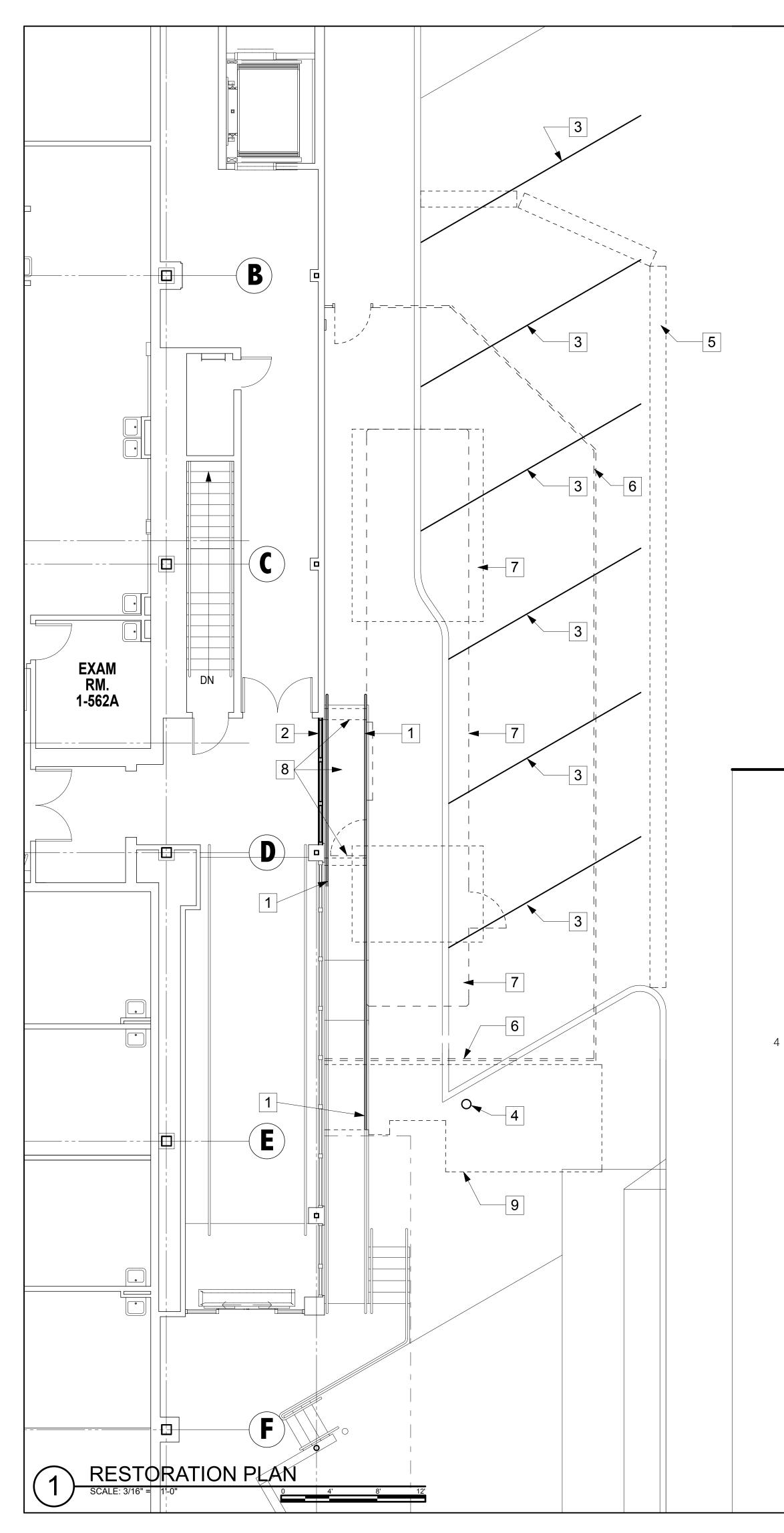
DRAWING NO.

AS NOTED

PROGRESS PRINT: 4/21/11







GENERAL RESTORATION NOTES:

A - THE SCOPE OF WORK OF RESTORATION (OF EXISTING CONDITION), RESPONSIBILITIES OF GENERAL CONTRACTOR ARE NOT LIMITED TO THIS RESTORATION DRAWINGS.

B - REFER TO ELECTRICAL, PLUMBING & FIRE PROTECTION DRAWINGS FOR THE EXTENT OF THE SCOPE OF WORK.

C - FILL WITH CONCRETE ALL HOLS PROVIDED DURING DEMOLITION AND OR CONSTRUCTION TO ANY PART OF EXISTING PROPERTIES (HOSPITAL AND OR CITY) AND PATCH TO MATCH.

D - GENERAL CONTRACTOR TO REPAIR ANY DAMAGES HAVE BEEN DONE TO EXISTING FINISHES (PAINT, FLOORING, CEILING, ETC.) AND CLEAN AFTER REMOVALS.

CODED RESTORATION NOTES

CAREFULLY RESTORE AND REASSEMBLE EXISTING HAND-RAIL AS

CAREFULLY RESTORE AND REASSEMBLE EXISTING WINDOW, FRAME & GLAZING. REPAIR OR REPLACE EXISTING BLOCKING AS REQUIRED. PROVIDE SELANT AND CAULKING AS REQUIRED.

REPAINT STREET PARKING DIVIDER.

CAREFULLY RESTORE AND REASSEMBLE EXISTING TRAFFIC SIGN.

REMOVE PROVIDED TEMPORARY STREET VEHICLE WATER FILLED BARRIER.

REMOVE PROVIDED TEMPORARY CHAIN LINK FENCE AND DOOR AS SHOWN.

7 REMOVE TEMPORARY MOBILE MRI AND TEMPORARY PROVIDED PLATFORM

8 REMOVE TEMPORARY ENCLOSURE (PARTITION, ROOFING, SLAB, ETC.)
AS SHOWN.

LINE OF SLAB ABOVE

CONT. ACOUSTICAL SEALANT BOTH SIDES (TYP.)

20GA. 3 5/8" METAL STUDS @ 16" O.C. WITH CONTINUOUS TOP AND BOTTOM METAL TRACKS.

ONE LAYER 5/8" GYPSUM BOARD EACH SIDE TO UNDER SIDE OF SLAB ABOVE

3 1/2" THERMAFIBER SOUND ATTENUATION BLANKET TO UNDERSIDE OF SLAB ABOVE

CONT. ACOUST. SEALANT BOTH SIDES (TYP.)

LINE OF FINISH FLOOR

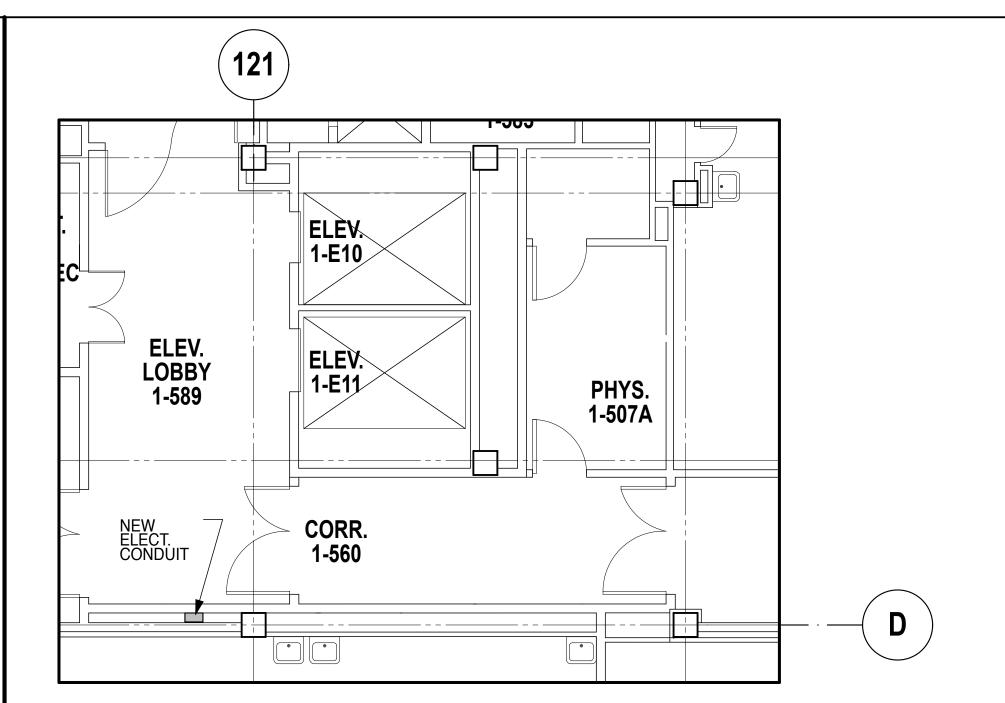
FLOOR BASE

NON RATED PARTITION

SCALE: 1 1/2" = 1'-0"

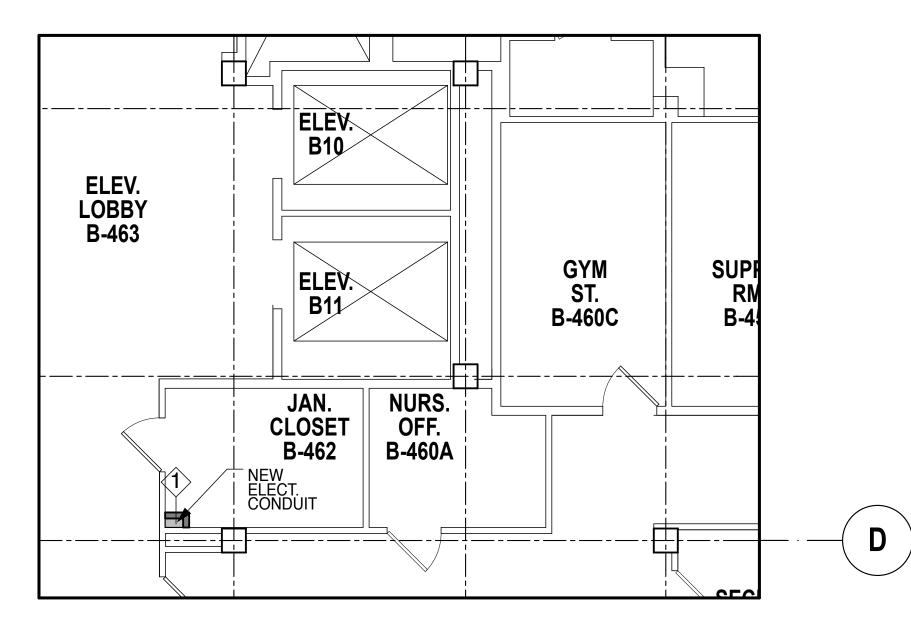
REMOVE TEMPORARY RAMP AND HANDRAILS.





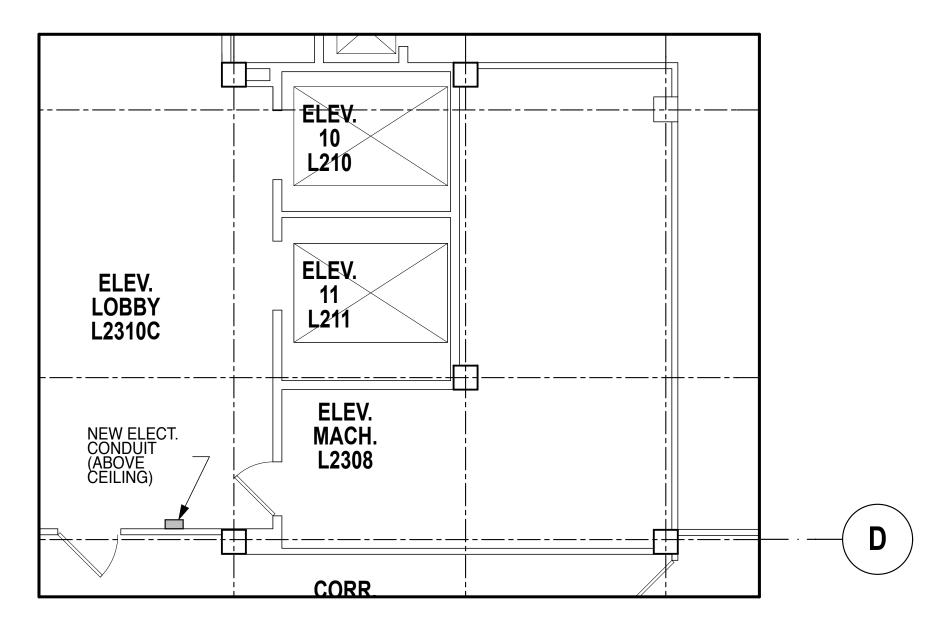
PARTIAL FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"



PARTIAL CELLAR PLAN

SCALE: 3/16" = 1'-0"



PARTIAL SUB-CELLAR PLAN



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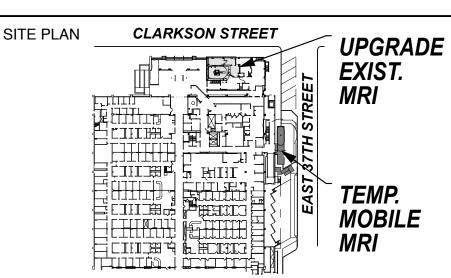
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PHASE "1": TEMPORARY MOBILE MRI

RESTORATION, CONDUIT ROUTING PLANS & DETAILS

SEAL & SIGNATURE:	DATE:	MARCH 17,
	JBA PROJECT NO). 1
	DRAWN:	
	SCALE:	AS NO
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	A-30	0.0
	CAD FILE NO. 1367a-JBA-SUNY-MRI	SHEET NO 5 OF 5

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